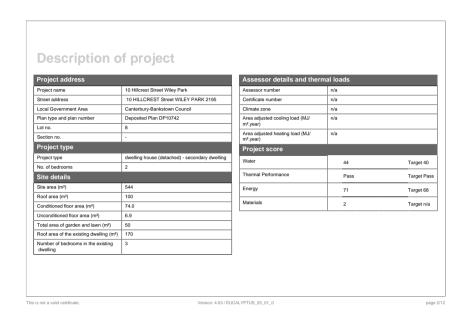
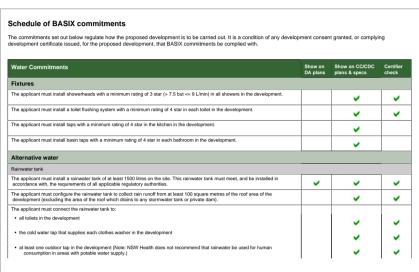
PROPOSED DA DRAWINGS FOR A GRANNY FLAT AT:

10 HILLCREST STREET, WILEY PARK

DA Drawings Prepared by FLDCARCHITECTS

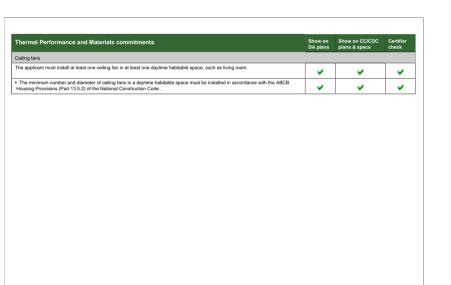
2D, 3 2 2 Kings grove Rd, Kings grove, Sydney 220 8, office: (02) 9 5 8 8 3 5 3 2 e mail - info@fldc.com.au COPYRIGHT FLDC ARCHITECTS Issue For Approval - N/A

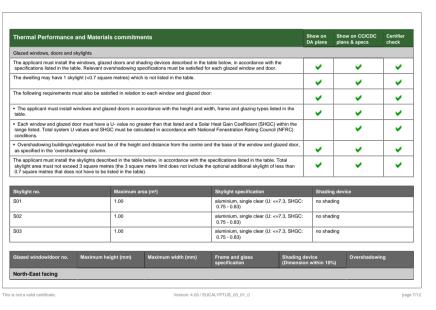




				DA plans	plans & specs	check
Do-it-yourself Method						
General features						,
The dwelling must be a Class 1 dwe	elling according to the Nationa	al Construction Code, and must not have more	than 2 storeys.	~	-	-
The conditioned floor area of the dv	velling must not exceed 300 s	quare metres.		~	~	~
The dwelling must not contain open	mezzanine area exceeding 2	25 square metres.		~	~	~
The dwelling must not contain third	level habitable attic room.			~	~	-
Floor, walls and ceiling/roof						
The applicant must construct the flo below.	or(s), walls, and ceiling/roof of	of the dwelling in accordance with the specifical	ations listed in the table	~	~	~
The applicant must adopt one of the ceiling/roof of the dwelling.	options listed in the tables b	elow to address thermal bridging in metal fram	ned floor(s), walls and	~	~	-
The applicant must show through re the tables below.	ceipts that the materials purc	chased for construction are consistent with the	specifications listed in			~
Construction	Area - m²	Additional insulation required	Options to address t bridging	hermal	Other specifications	
floor - concrete slab on ground, conventional slab.	80.9	nil;not specified	nil			
external wall: brick veneer; frame: timber - H2 treated softwood.	all external walls	2.44 (or 3.00 including construction);fibreglass batts or roll				
internal wall: plasterboard; frame: timber - H2 treated softwood.	31.2	none	nil			

Constr	uction	Area - m²	Additional insulation required	Options to address thermal bridging	Other specifications
pitched	and roof - flat ceiling / I roof, framed - metal roof, - H2 treated softwood.	75.5	ceiling: 5 (up), roof: foil/ sarking ;ceiling: fibreglass batts or roll; roof: foil/sarking.	nil	roof space ventilation: unventilated; roof colour: mediun (solar absorptance 0.6-0.7); ceiling area fully insulated
roof, fr	and roof - flat ceiling / flat amed - metal roof, timber - ated softwood.	24.5	ceiling: 5 (up), roof: foil/ sarking ;ceiling: fibreglass batts or roll; roof: foil/sarking.	nil	roof colour: medium (solar absorptance 0.6-0.7); ceiling are fully insulated
Note			n accordance with the ABCB Housing Provision		
lote			e is greater than R3.0, refer to the ABCB Hou		
			th due consideration of condensation and ass		• •
lote	I hermal breaks must be	installed in metal framed walls	and applicable roofs in accordance with the A	IBCB Housing Provisions of the Nati	onal Construction Code.

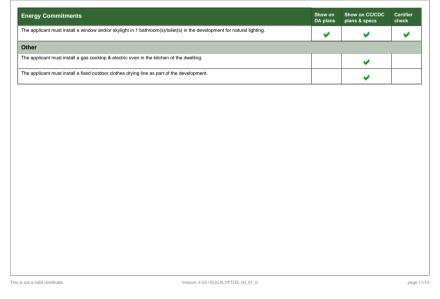




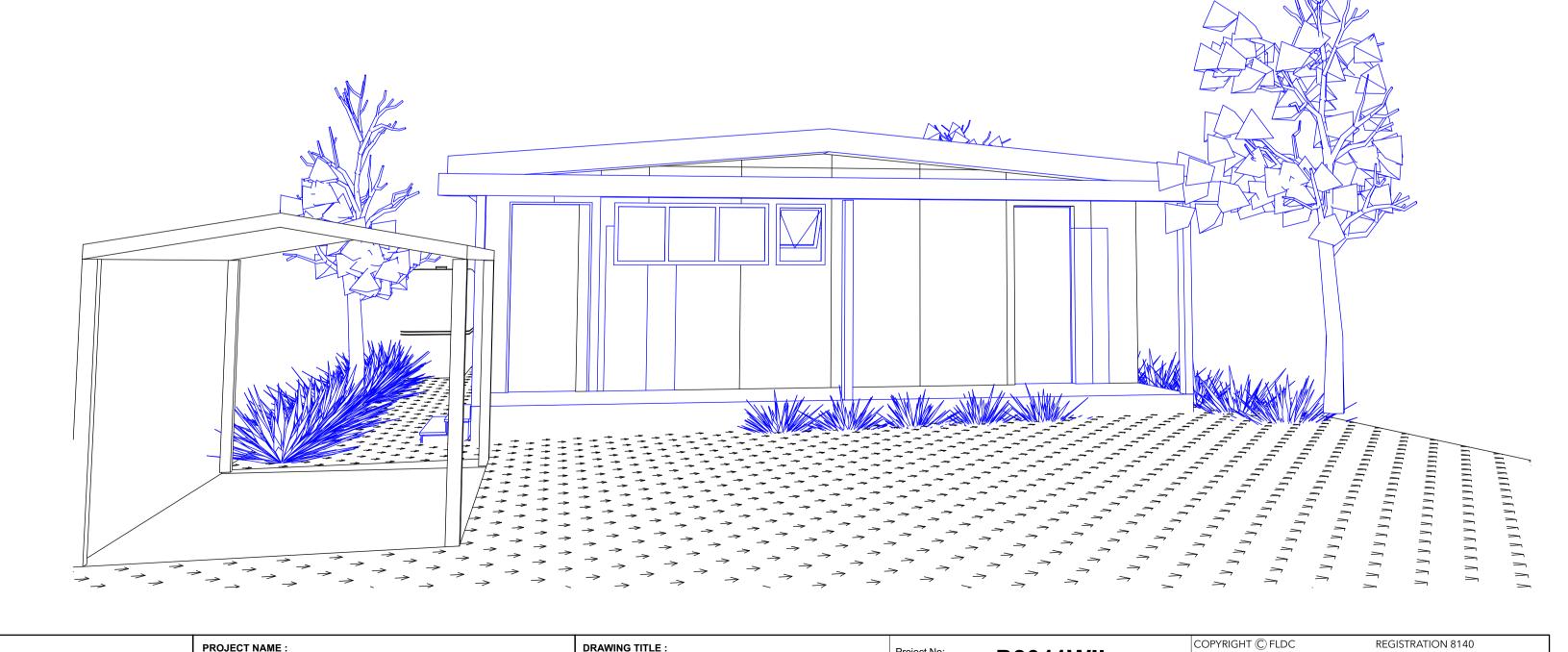
Glazed window/door no.	d window/door no. Maximum height (mm) Maximum v		Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing		
kitchen	800.00	2000.00	aluminium, single glazed (U-value: <=6.5, SHGC: Undecided)	eave 870 mm, 20 mm above head of window or glazed door	not overshadowed		
dining	800.00	2000.00	aluminium, single glazed (U-value: <=6.5, SHGC: Undecided)	eave 870 mm, 20 mm above head of window or glazed door	not overshadowed		
South-East facing							
lounge SD	2360.00	1720.00	aluminium, double glazed (U-value: <=, SHGC: Undecided)	solid overhang 450 mm, 20 mm above head of window or glazed door	not overshadowed		
lounge	2360.00	2100.00	aluminium, double glazed (U-value: <=, SHGC: Undecided)	solid overhang 450 mm, 330 mm above head of window or glazed door	not overshadowed		
laundry	1500.00	600.00	aluminium, single glazed (U-value: <=6.5, SHGC: Undecided)	solid overhang 450 mm, 700 mm above head of window or glazed door	not overshadowed		
bed 2 SD	2360.00	1720.00	aluminium, single glazed (U-value: <=6.5, SHGC: Undecided)	solid overhang 450 mm, 440 mm above head of window or glazed door	not overshadowed		
South-West facing							
bed 2	620.00	2000.00	aluminium, single glazed (U-value: <=6.5, SHGC: Undecided)	eave 600 mm, 260 mm above head of window or glazed door	not overshadowed		
bed 1	620.00	2000.00	aluminium, single glazed (U-value: <=6.5, SHGC: Undecided)	eave 600 mm, 260 mm above head of window or glazed door	not overshadowed		
North-West facing							
bed 1 SD	2360.00	1720.00	aluminium, single glazed (U-value: <=6.5, SHGC: Undecided)	solid overhang 450 mm, 430 mm above head of window or glazed door	2-4 m high, 8-12 m away		
bath	650.00	1750.00	aluminium, single glazed (U-value: <=6.5, SHGC: Undecided)	solid overhang 450 mm, 690 mm above head of window or glazed door	2-4 m high, 8-12 m away		

Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
kitchen	650.00	2000.00	aluminium, single glazed (U-value: <=6.5, SHGC: Undecided)	solid overhang 450 mm, 170 mm above head of window or glazed door	2-4 m high, 8-12 m away
is not a valid certificate.		M	UCALYPTUS_03_01_0		page

nergy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.	~	~	~
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - non ducted; Energy rating: EER 3.0 - 3.5		~	•
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - non ducted; Energy rating: EER 3.0 - 3.5		~	•
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - non ducted; Energy rating: EER 3.0 - 3.5		~	•
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - non ducted; Energy rating: EER 3.0 - 3.5		~	•
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		~	•
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		•	•
Laundry: natural ventilation only, or no laundry; Operation control: n/a		✓	~
Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting- diode (LED) lamps.		~	•
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.			



птатово обтипатогно, арриоата тасато вто рогоот оаг	ying out the development.
Commitments identified with a V in the "Show on DA plate development application is to be lodged for the proposed	ins' column must be shown on the plans accompanying the development application for the proposed development (if a idevelopment).
Commitments identified with a V in the "Show on CC/Ci certificate / complying development certificate for the pro	OC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction posed development.
Commitments identified with a 🟏 in the "Certifier check" final) for the development may be issued.	column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or



DRAWING REGISTRY ...

DA 001 COVER PAGE

DA 002 SITE ANALYSIS

DA 100 EXISTING SITE/ROOF PLAN

DA 101 EXISTING GROUND FLOOR PLAN

DA 102 DEMOLITION SITE/ROOF PLAN

DA 103 DEMOLITION GROUND FLOOR PLAN

DA 104 PROPOSED SITE/ROOF PLAN

DA 105 PROPOSED GROUND FLOOR PLAN

DA 200 EXISTING ELEVATIONS

DA 201 PROPOSED ELEVATIONS

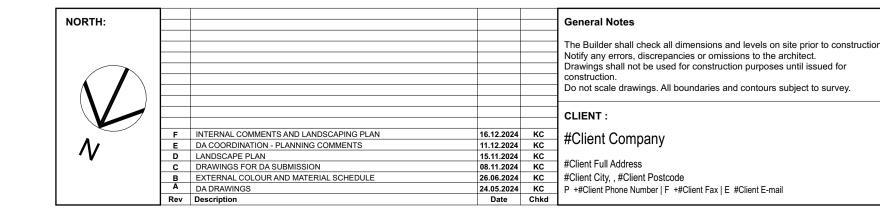
DA 300 EXISTING SECTIONS

DA 301 PROPOSED SECTIONS

DA 400 EXTERNAL COLOURS AND MATERIALS

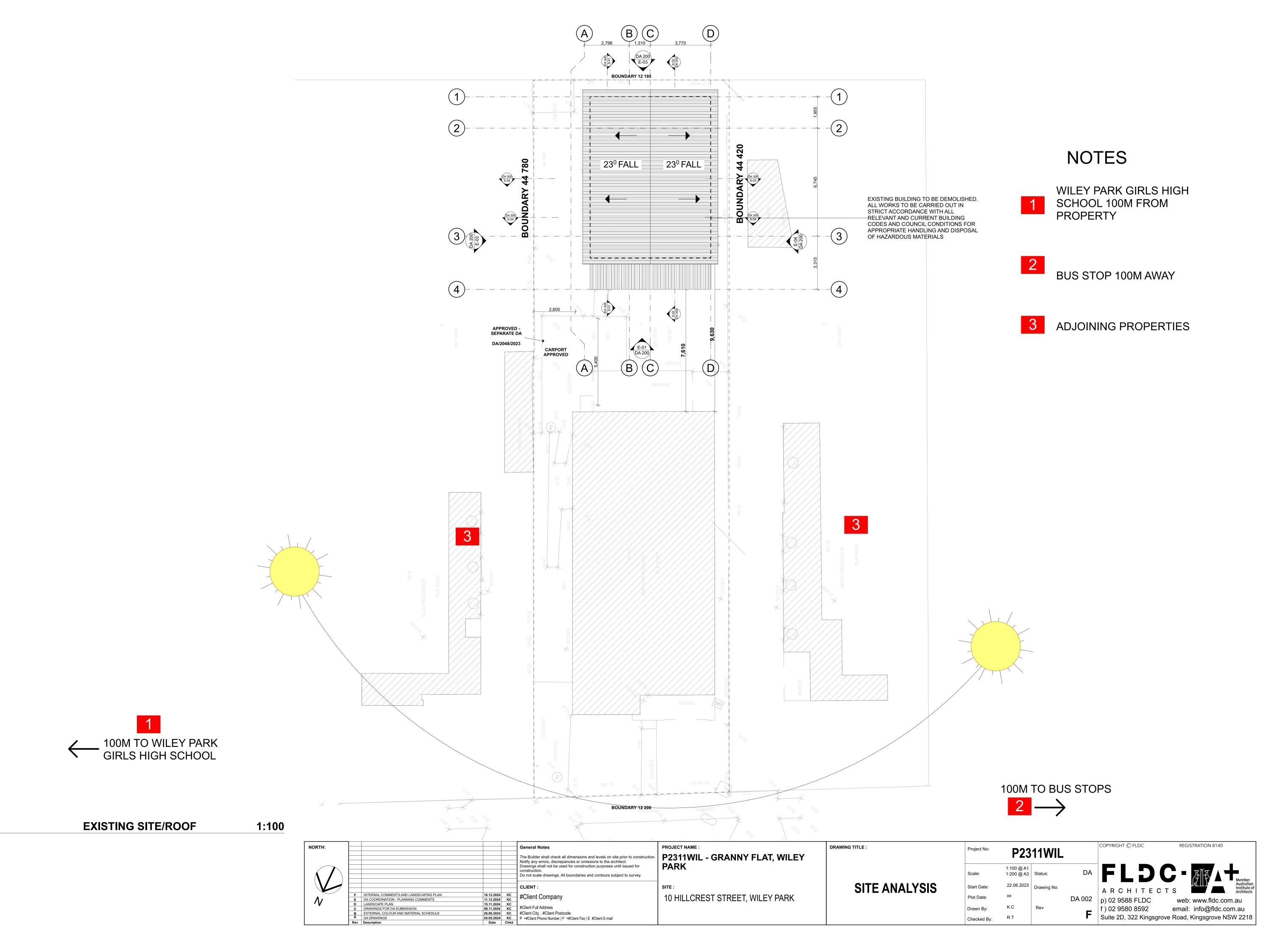
DA 500 EROSION AND SEDIMENT CONTROL PLAN

DA 600 LANDSCAPE PLANS



PROJECT NAME.
P2311WIL - GRANNY FLAT, WILEY PARK
SITE: 10 HILLCREST STREET, WILEY PARK

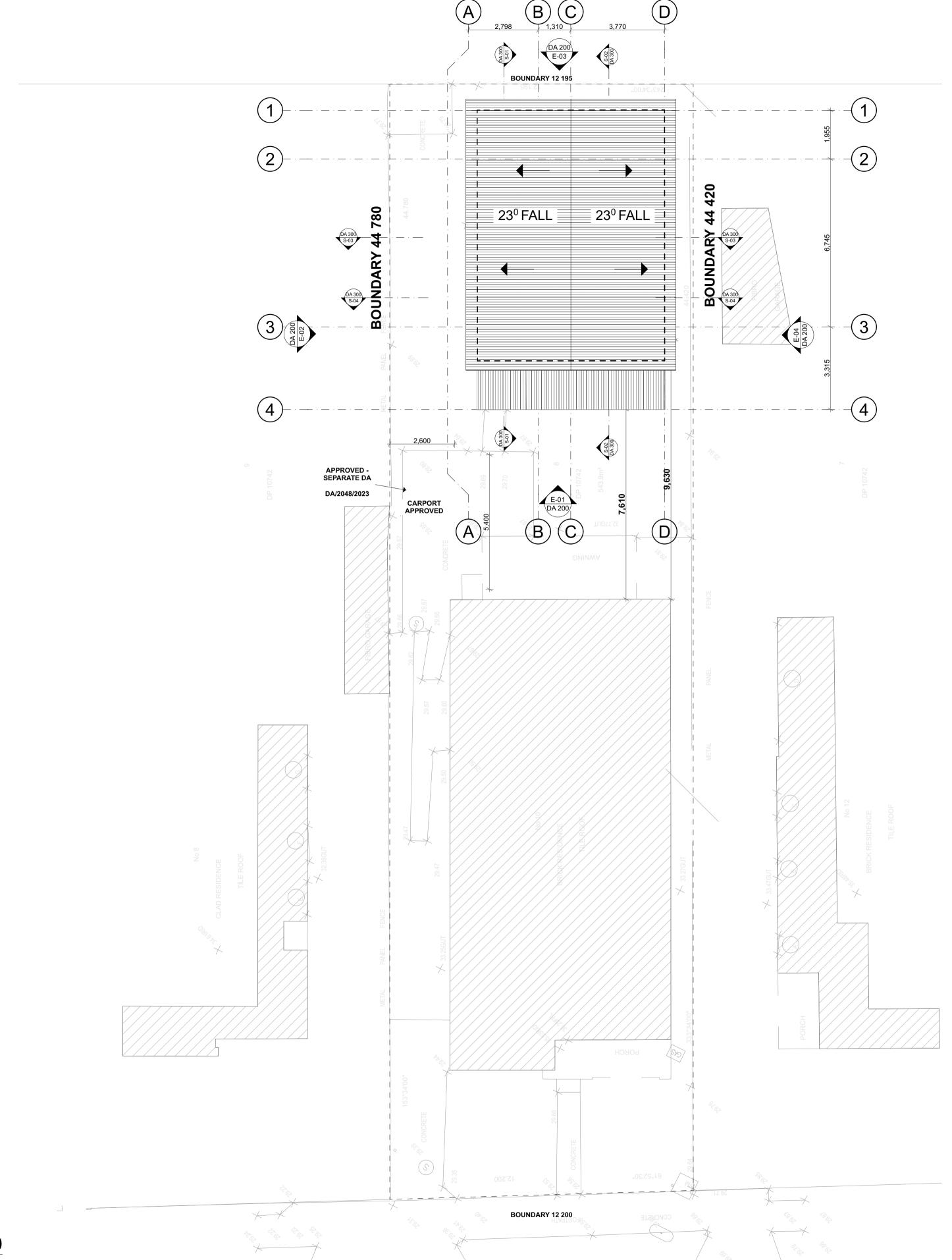
· 	Project No:	P23	11WIL		
	Scale:	1:100 @ A1 1:200 @ A3	Status:	DA	FLDC-源水十
COVERPAGE	Start Date:	22.06.2023	Drawing No:		A R C H I T E C T S
	Plot Date:	XX		DA 001	p) 02 9588 FLDC web: www.fldc.com.au
	Drawn By:	K.C	Rev	_	f) 02 9580 8592 email: info@fldc.com.au
	Checked By:	R.T			Suite 2D, 322 Kingsgrove Road, Kingsgrove NSW 22



PROPOSED

TO BE DEMOLISHED

EXISTING



EXISTING SITE/ROOF

1:100

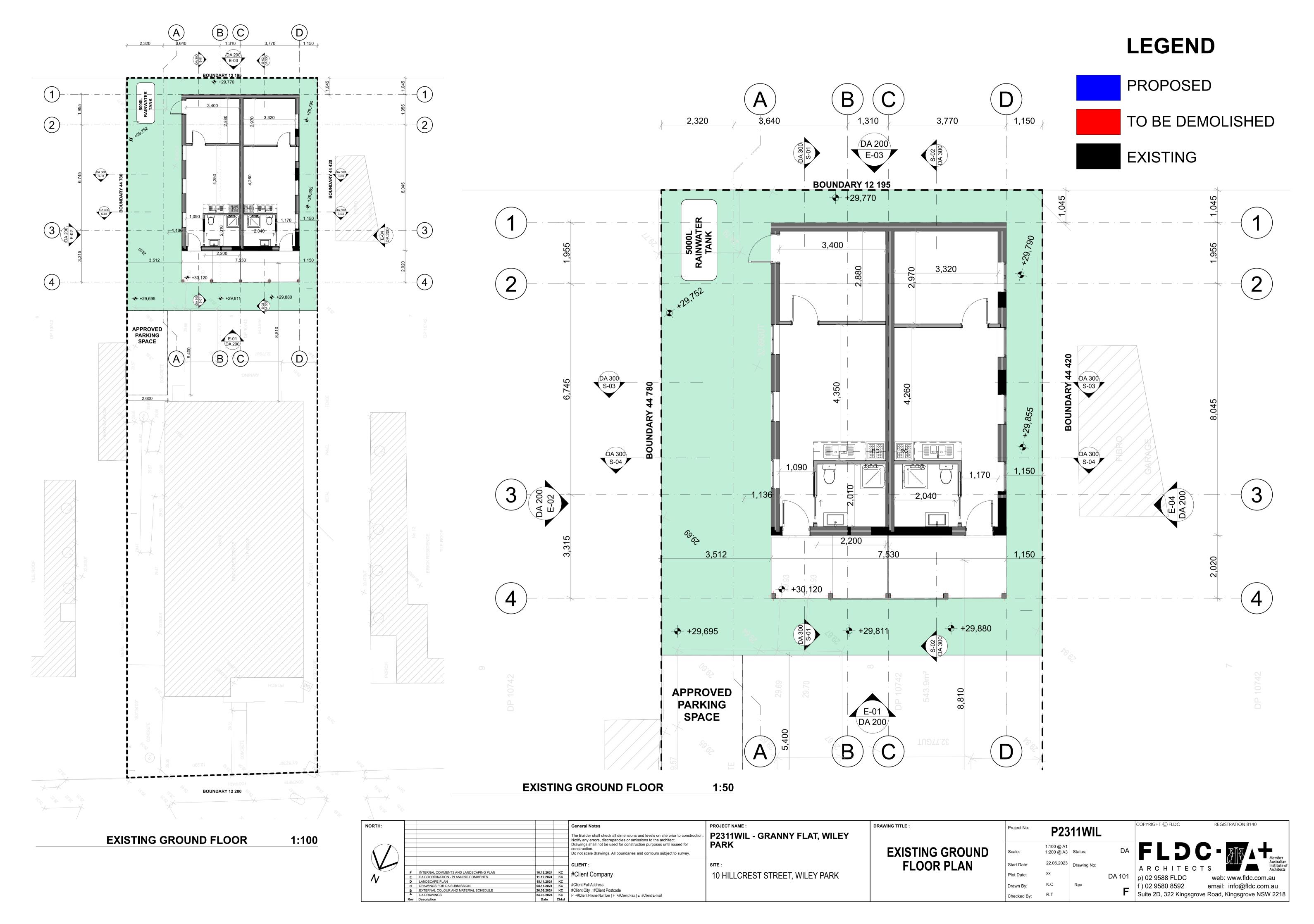
			/		<u> </u>	
NORTH:					General Notes	PROJECT NAME :
					The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Drawings shall not be used for construction purposes until issued for construction. Do not scale drawings. All boundaries and contours subject to survey.	P2311WIL - GRANNY FLA PARK
					CLIENT:	SITE:
	F	INTERNAL COMMENTS AND LANDSCAPING PLAN	16.12.2024	кс	#Client Company	40 LULL ODEOT OTDEET WIL
Λ,	E	DA COORDINATION - PLANNING COMMENTS	11.12.2024	кс	#Client Company	10 HILLCREST STREET, WIL
' V	D	LANDSCAPE PLAN	15.11.2024	KC	WOW 4 = WALL	,
	С	DRAWINGS FOR DA SUBMISSION	08.11.2024	кс	#Client Full Address	
	В	EXTERNAL COLOUR AND MATERIAL SCHEDULE	26.06.2024	KC	#Client City, , #Client Postcode	
	A	DA DRAWINGS	24.05.2024	KC	P +#Client Phone Number F +#Client Fax E #Client E-mail	
	Rev	Description	Date	Chkd	·	

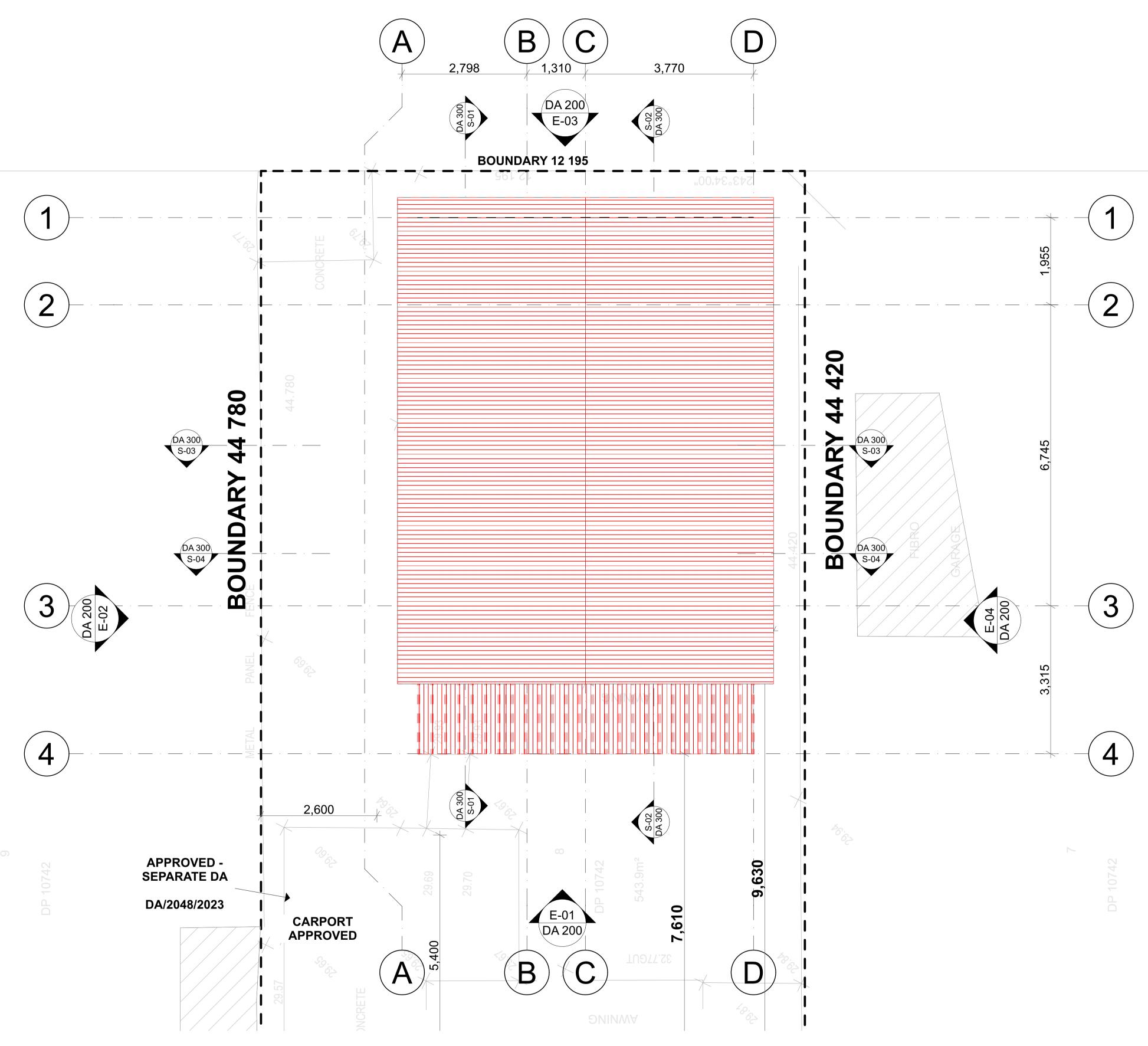
LAT, WILEY

VILEY PARK

NG TITLE :	Project No:	P23	11WIL	
XISTING SITE/ROOF	Scale:	1:100 @ A1 1:200 @ A3	Status:	
PLAN	Start Date:	22.06.2023	Drawing No:	
. =/ (1)	Plot Date:	xx		DA 10
	Drawn By:	K.C	Rev	
	Checked By:	R.T		

REGISTRATION 8140 f) 02 9580 8592 email: info@fldc.com.au Suite 2D, 322 Kingsgrove Road, Kingsgrove NSW 2218

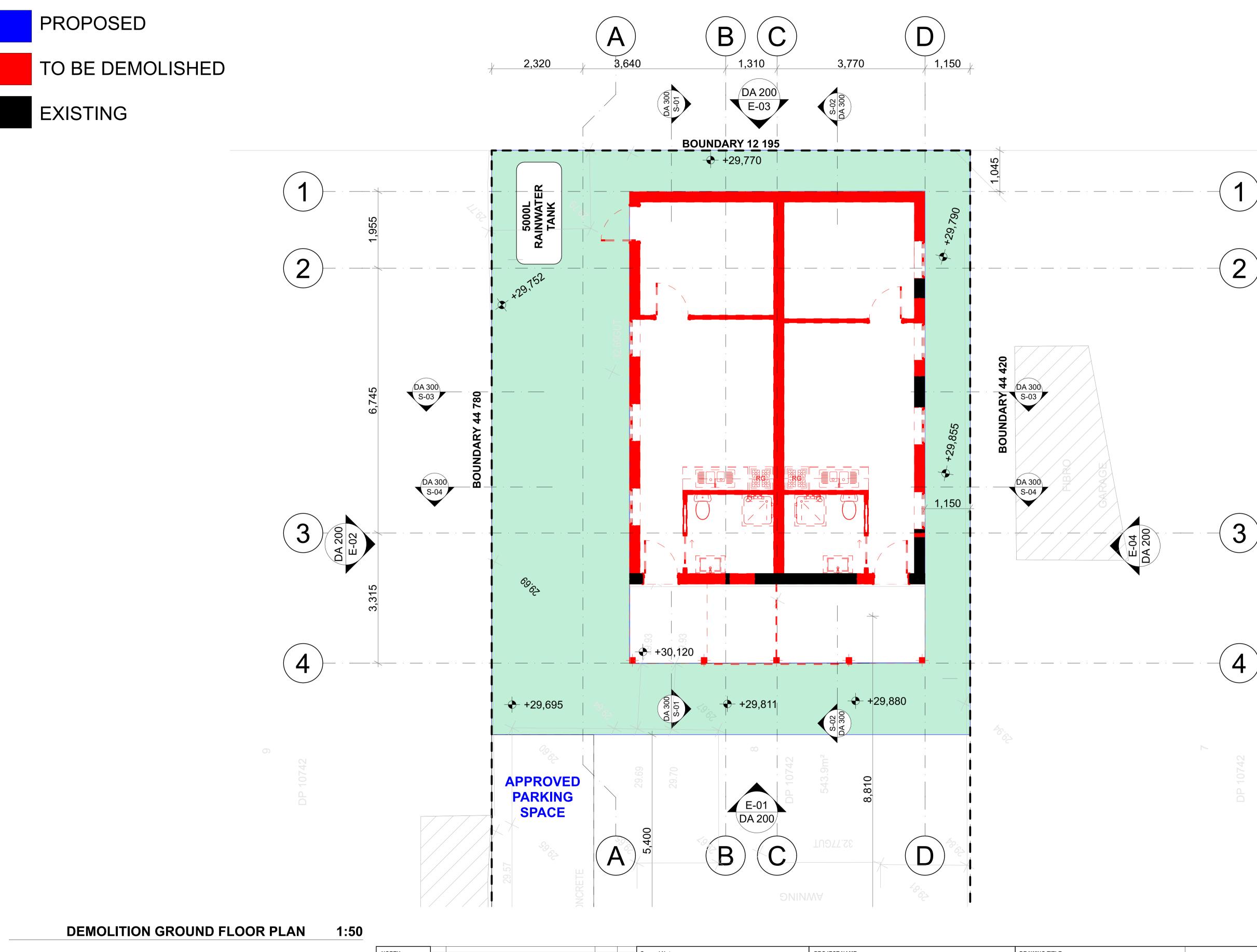




DEMOLITION SITE/ROOF PLAN

1:50

NORTH:			General Notes	PROJECT NAME :	DRAWING TITLE :	Project No:	D0044\A/II	COPYRIGHT © FLDC	REGISTRATION 8140
_			The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect.	P2311WIL - GRANNY FLAT, WILEY			P2311WIL		
			Drawings shall not be used for construction purposes until issued for construction. Do not scale drawings. All boundaries and contours subject to survey.	PARK	DEMOLITION SITE/ROOF	Scale:	1:100 @ A1 1:200 @ A3 Status:	F L D C	Member Member
			CLIENT:	SITE:	PLAN	Start Date:	22.06.2023 Drawing No:	ARCHITECT	Australia
Λ,	F INTERNAL COMMENTS AND LANDSCAPING PLAN E DA COORDINATION - PLANNING COMMENTS		#Client Company	10 HILLCREST STREET, WILEY PARK		Plot Date:	xx	DA 102 p) 02 9588 FLDC	web: www.fldc.com.au
, v	D LANDSCAPE PLAN C DRAWINGS FOR DA SUBMISSION		#Client Full Address			Drawn By:	K.C Rev	• /	email: info@fldc.com.au
- -	B EXTERNAL COLOUR AND MATERIAL SCHEDULE A DA DRAWINGS Rev Description	26.06.2024 KC 24.05.2024 KC Date Chkd	#Client City, , #Client Postcode P +#Client Phone Number F +#Client Fax E #Client E-mail			Checked By:	R.T	Suite 2D, 322 Kingsgrove	Road, Kingsgrove NSW 2218



REGISTRATION 8140 COPYRIGHT © FLDC DRAWING TITLE: NORTH: **P2311WIL P2311WIL - GRANNY FLAT, WILEY** The Builder shall check all dimensions and levels on site prior to construction Notify any errors, discrepancies or omissions to the architect.

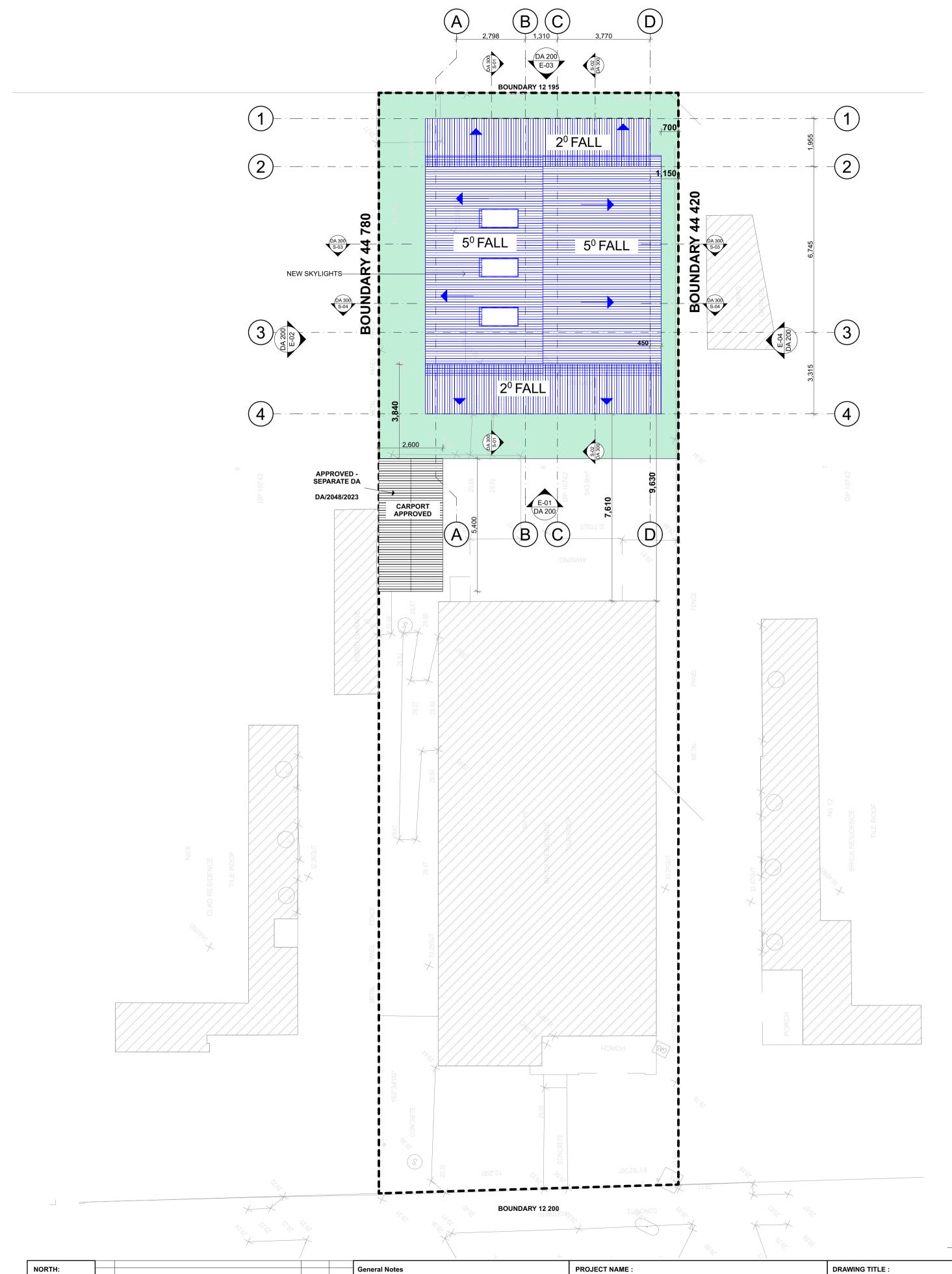
Drawings shall not be used for construction purposes until issued for **PARK** 1:100 @ A1 1:200 @ A3 Status: **DEMOLITION GROUND** Do not scale drawings. All boundaries and contours subject to survey. 22.06.2023 Drawing No: **FLOOR PLAN** INTERNAL COMMENTS AND LANDSCAPING PLAN
DA COORDINATION - PLANNING COMMENTS
LANDSCAPE PLAN
DRAWINGS FOR DA SUBMISSION 16.12.2024 KC
11.12.2024 KC
15.11.2024 KC
08.11.2024 KC
26.06.2024 KC
24.05.2024 KC
Date Chkd 10 HILLCREST STREET, WILEY PARK #Client Company Plot Date: p) 02 9588 FLDC #Client Full Address f) 02 9580 8592 email: info@fldc.com.au #Client City, , #Client Postcode B EXTERNAL COLOUR AND MATERIAL SCHEDULI Suite 2D, 322 Kingsgrove Road, Kingsgrove NSW 2218 P +#Client Phone Number | F +#Client Fax | E #Client E-mail Checked By:



TO BE DEMOLISHED



CLAUSE	REQUIRED	PROPOSED	COMPLIES
LOT REQUIREMENT	- At least 12m and 450 m2	- 12.2m frontage & site area: 543.6m2	Y
MAX SITE COVERAGE	- 50% of the area if the lot has an area 450 m2 & 900m2	- 41.64% (226.35 m2)	Y
MAX FLOOR AREA OF PRINCIPAL & SECONDARY DWELLING	- Maximum floor area of Principal Dwelling, Secondary Dwelling, Carport/Garage are: 330m2: Lots 450m2 - 600m2	 145.1m2 existing dwelling + decking + front porch 59.65m2 proposed secondary dwelling 17.61m2 proposed covered porch Total: 222.36m2 incl. Principal dwelling & proposed secondary dwelling & front porch 	Y
SETBACKS & MAX. FLOOR AREA FOR BALCONIES & DECKS ETC.	12m2 max if the structure at any point is located within 6m of the side or rear & any point of its finished floor more than 2m of the NGL	- NIL	Y
BUILDING HEIGHT	- 3.8 max from NGL	- 3.8m Maximum Proposed Building Height	Y
SETBACK FROM SIDE BOUNDARIES	 0.9m if the lot has an area of 450m2 - 900m2 to a building height of 3.8m and to any carport, garage, pergola, etc. 0.9m and ¼ of the additional building height above 3.8m, up to a setback of 8m - if the lot has an area of at least 450m2 - 900m2 	- 1.89m & 1.15m side setbacks	Y
SETBACKS FROM REAR BOUNDARIES	 3m if the lot has an area of 450m2 - 900m2 to a building height of 3.8m and to any carport, garage, pergola, etc. 3m and ¼ of the additional building height above 3.8m, up to a setback of 8m - if the lot has an area of at least 450m2 - 900m2 	- 3.25m rear setback	Y
LANDSCAPE AREA	 20% if the lot has an area of 450m2 - 600m2: 108.72m2 At least 50% of landscaped area to be located behind building line 	 Total landscaped area: 113.69m2 (20%) Landscape behind building line: 66.84m2 (58% of 113.69) Landscape forward building line: 46.85m2 	Y
PRIVATE OPEN SPACE	- 24m2 of POS	- 39.74 m2	Υ
CARPORT	- Primary road setbacks of dwelling house 4.5m or more Carport is accessed from a primary road must have a minimum at least 1m behind the building line of the dwelling house	- At least 1m behind building line	Y
MAXIMUM WIDTH OF CARPORT	- Lot width at the building line 8-12m. Maximum 3.2m	- 2.4m x 5.4m	Y



PROPOSED SITE/ROOF PLAN

P2311WIL

1:100 @ A1 1:200 @ A3 Status:

Checked By:

22.06.2023 Drawing No:

The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Drawings shall not be used for construction purposes until issued for construction. Do not scale drawings. All boundaries and contours subject to survey.

| F INTERNAL COMMENTS AND LANDSCAPING PLAN | 16.12.2024 | KC | DA COORDINATION - PLANNING COMMENTS | 11.12.2024 | KC | C | DRAWINGS FOR DA SUBMISSION | 08.11.2024 | KC | C | DRAWINGS FOR DA SUBMISSION | 08.11.2024 | KC | B | EXTERNAL COLOUR AND MATERIAL SCHEDULE | 28.06.2024 | KC | Rev | Description | Date | Chkd | Date | Chkd | P ##Client Pone Number | F ##Client E-mail

PROPOSED SITE/ROOF
PLAN

Scale:
Start Date:
Plot Date:

DA

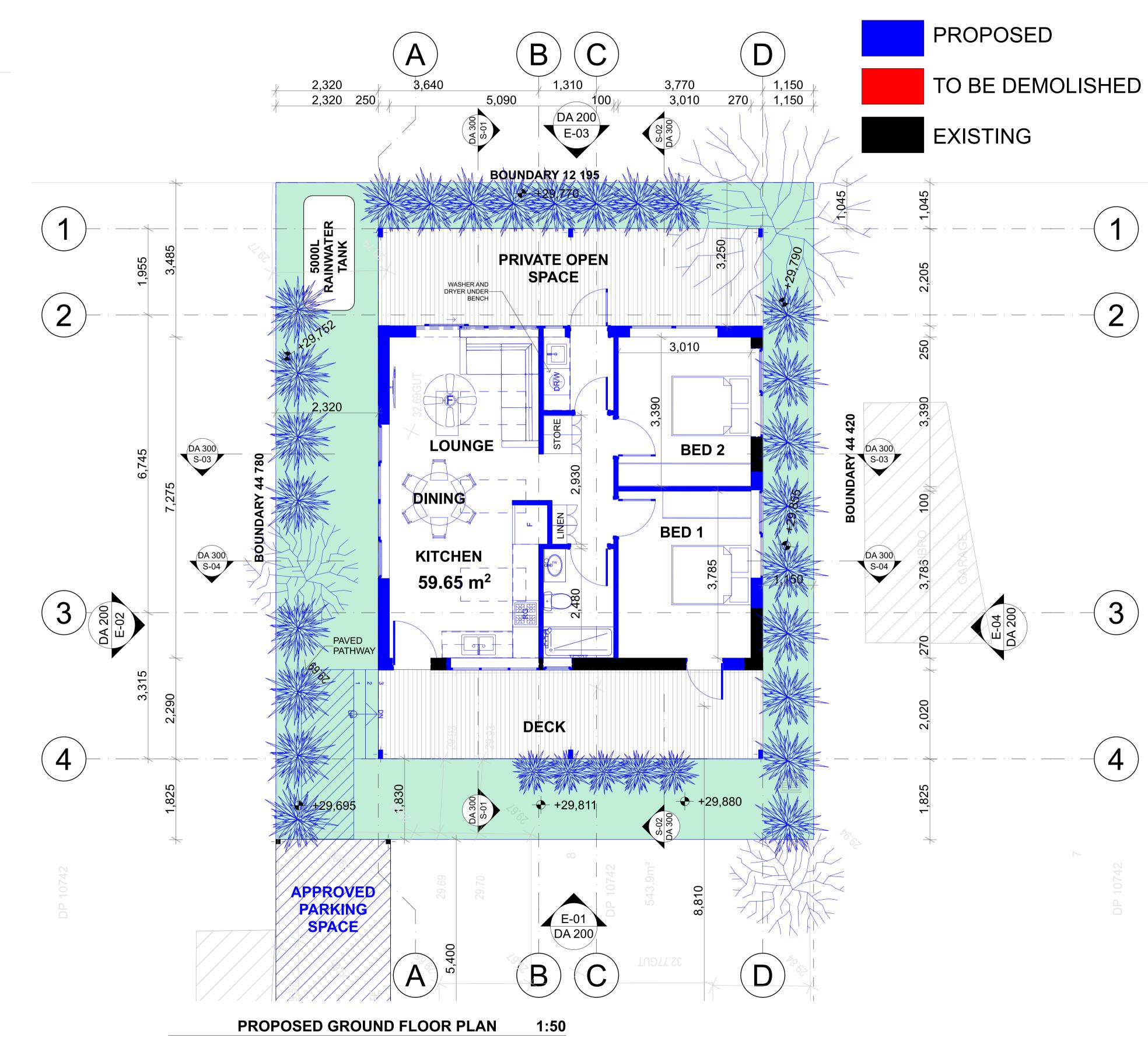
A R C H I T E C T S

P) 02 9588 FLDC

F) 02 9580 8592

Suite 2D, 322 Kingsgrove Road, Kingsgrove NSW 2218

1:100



CLAUSE	REQUIRED	PROPOSED	COMPLIES
LOT REQUIREMENT	- At least 12m and 450 m2	- 12.2m frontage & site area: 543.6m2	Y
MAX SITE COVERAGE	- 50% of the area if the lot has an area 450 m2 & 900m2	- 41.64% (226.35 m2)	Y
MAX FLOOR AREA OF PRINCIPAL & SECONDARY DWELLING	- Maximum floor area of Principal Dwelling, Secondary Dwelling, Carport/Garage are: 330m2: Lots 450m2 - 600m2	 145.1m2 existing dwelling + decking + front porch 59.65m2 proposed secondary dwelling 17.61m2 proposed covered porch 	Y
		 Total: 222.36m2 incl. Principal dwelling & proposed secondary dwelling & front porch 	
SETBACKS & MAX. FLOOR AREA FOR BALCONIES & DECKS ETC.	 12m2 max if the structure at any point is located within 6m of the side or rear & any point of its finished floor more than 2m of the NGL 	- NIL	Y
BUILDING HEIGHT	- 3.8 max from NGL	- 3.8m Maximum Proposed Building Height	Y
SETBACK FROM SIDE BOUNDARIES	 0.9m if the lot has an area of 450m2 - 900m2 to a building height of 3.8m and to any carport, garage, pergola, etc. 0.9m and ¼ of the additional building height above 3.8m, up to a setback of 8m - if the lot has an area of at least 450m2 - 900m2 	- 1.89m & 1.15m side setbacks	Y
SETBACKS FROM REAR BOUNDARIES	 3m if the lot has an area of 450m2 - 900m2 to a building height of 3.8m and to any carport, garage, pergola, etc. 3m and ¼ of the additional building height above 3.8m, up to a setback of 8m - if the lot has an area of at least 450m2 - 900m2 	- 3.25m rear setback	Y
LANDSCAPE AREA	 20% if the lot has an area of 450m2 - 600m2: 108.72m2 At least 50% of landscaped area to be located behind building line 	 Total landscaped area: 113.69m2 (20%) Landscape behind building line: 66.84m2 (58% of 113.69) Landscape forward building line: 46.85m2 	Y
PRIVATE OPEN SPACE	- 24m2 of POS	- 39.74 m2	Υ
CARPORT	Primary road setbacks of dwelling house 4.5m or more Carport is accessed from a primary road must have a minimum at least 1m behind the building line of the dwelling house	- At least 1m behind building line	Y
MAXIMUM WIDTH OF CARPORT	- Lot width at the building line 8-12m. Maximum 3.2m	- 2.4m x 5.4m	Y

PROPOSED GROUND FLOOR PLAN

BC

BC

D

2

4

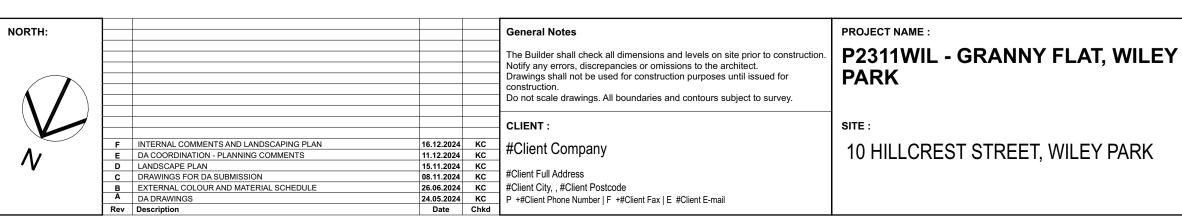
2,320

KITCHEN

59.65 m²

2

4



FLAT, WILEY

PROPOSED GROUND
FLOOR PLAN

Project No:

P2311WIL

1:100 @ A1
1:200 @ A3
Status:

DA

Start Date:

Plot Date:

Drawn By:
Checked By:

P2311WIL

Status:

DA

Drawing No:

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Drawing No:

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REGISTRATION 8140

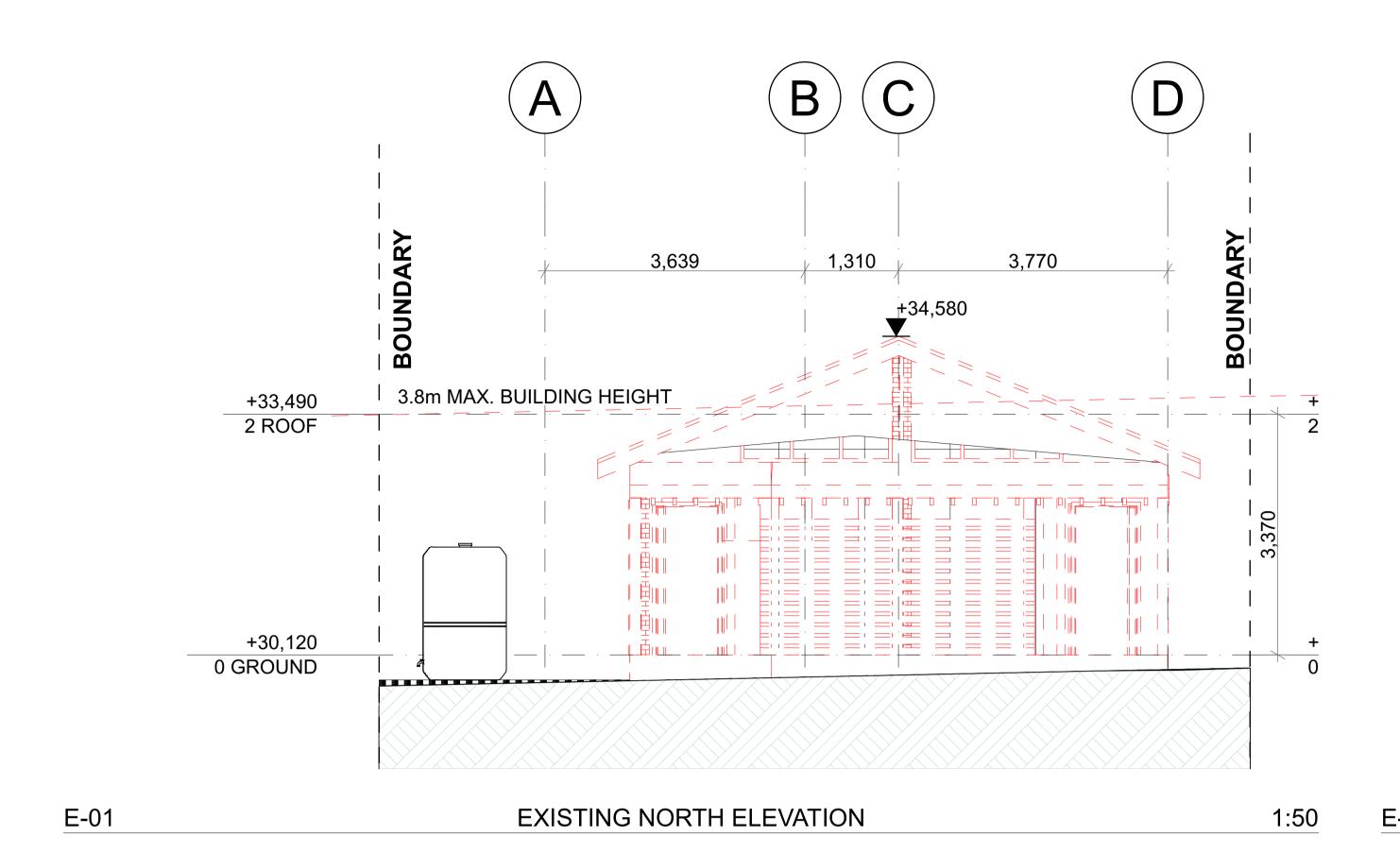
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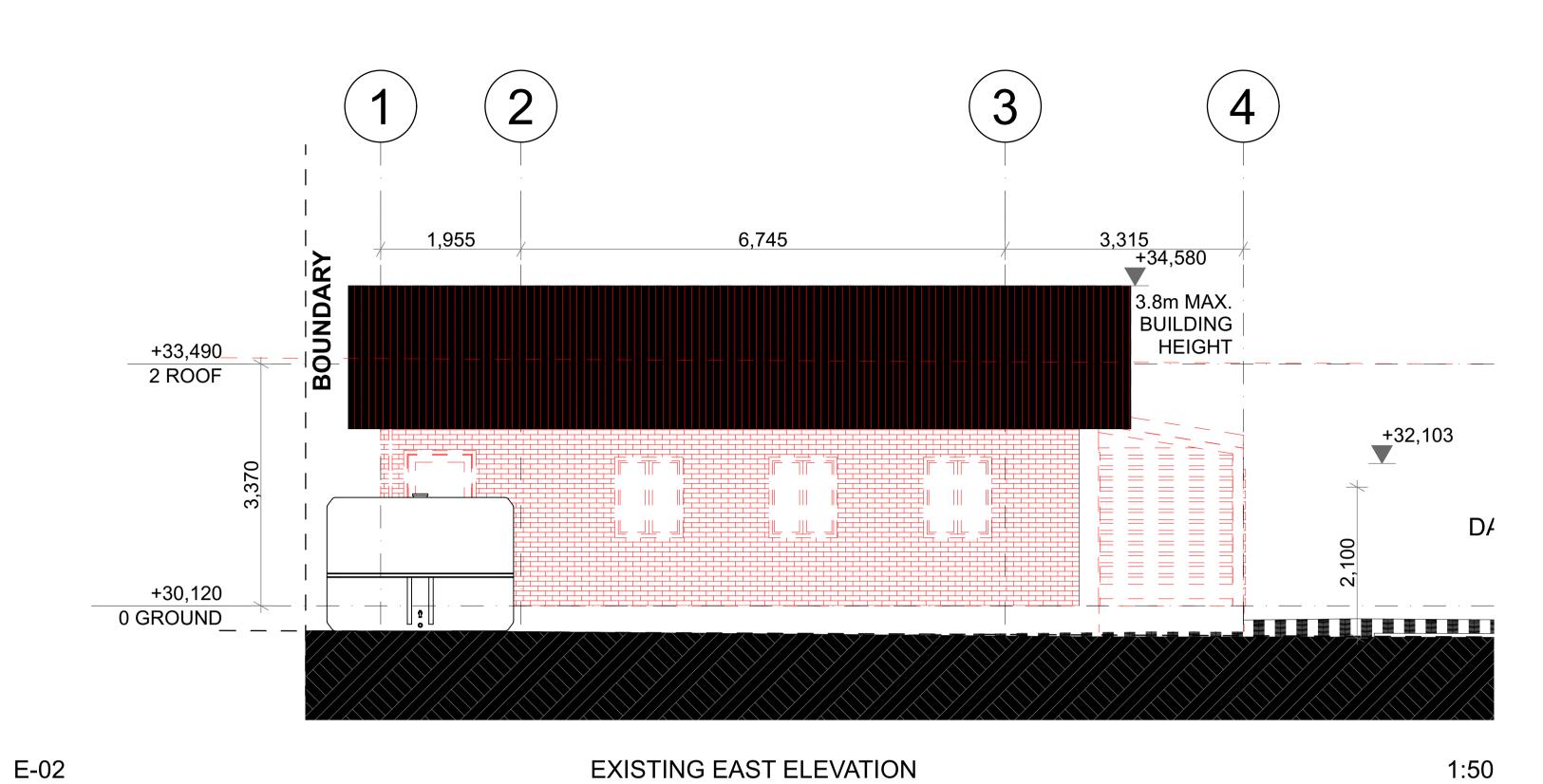
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f) 02 9580 8592

Suite 2D, 322 Kingsgrove Road, Kingsgrove NSW 2218





3,8m MAX, BUILDING HEIGHT

2 ROOF

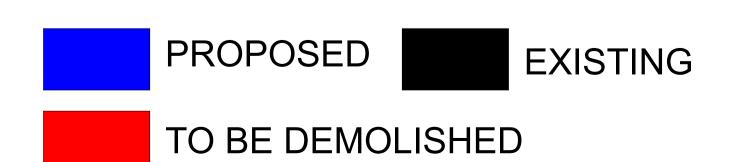
EXISTING SOUTH ELEVATION

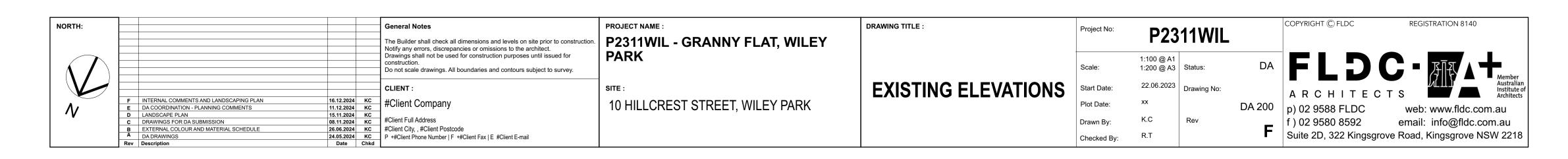
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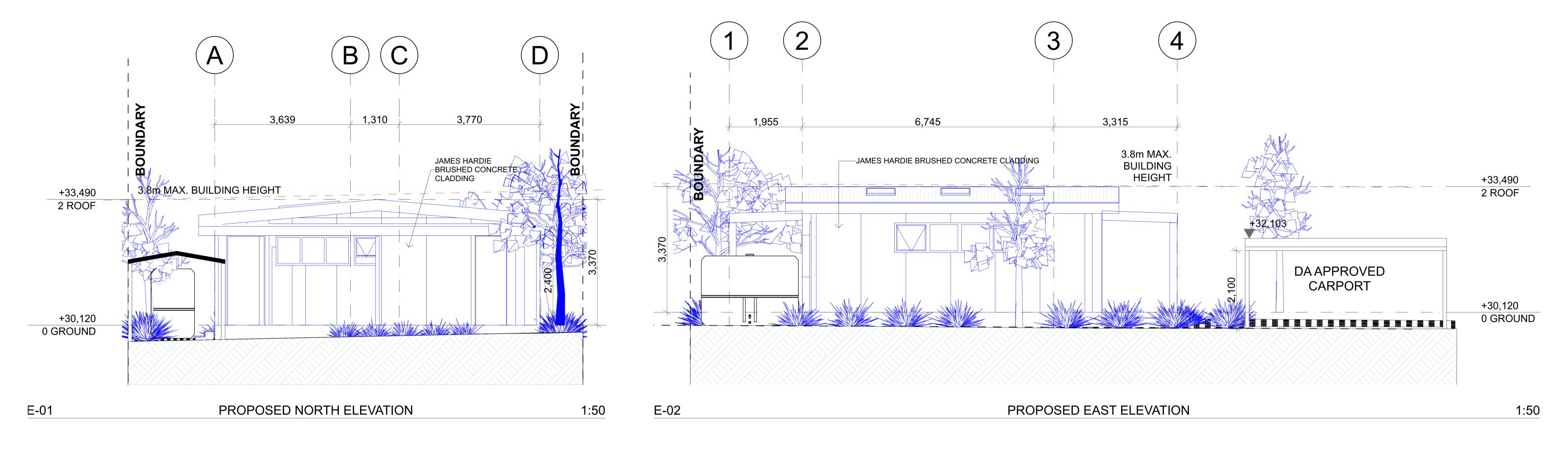


LEGEND

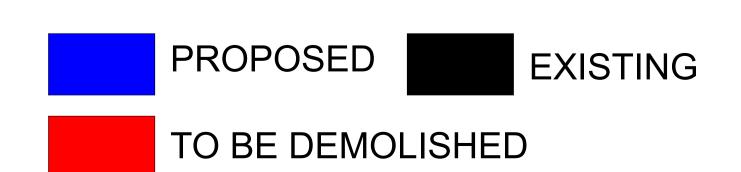
E-03

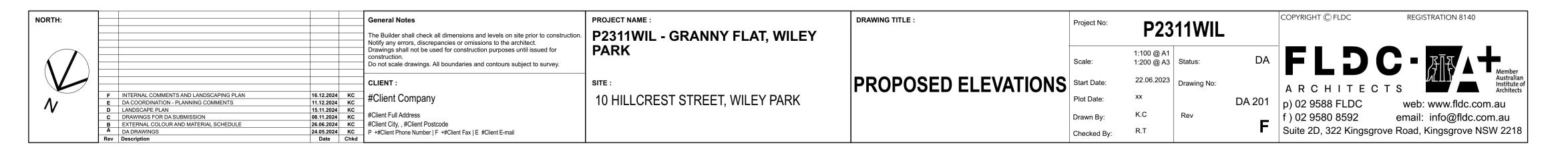


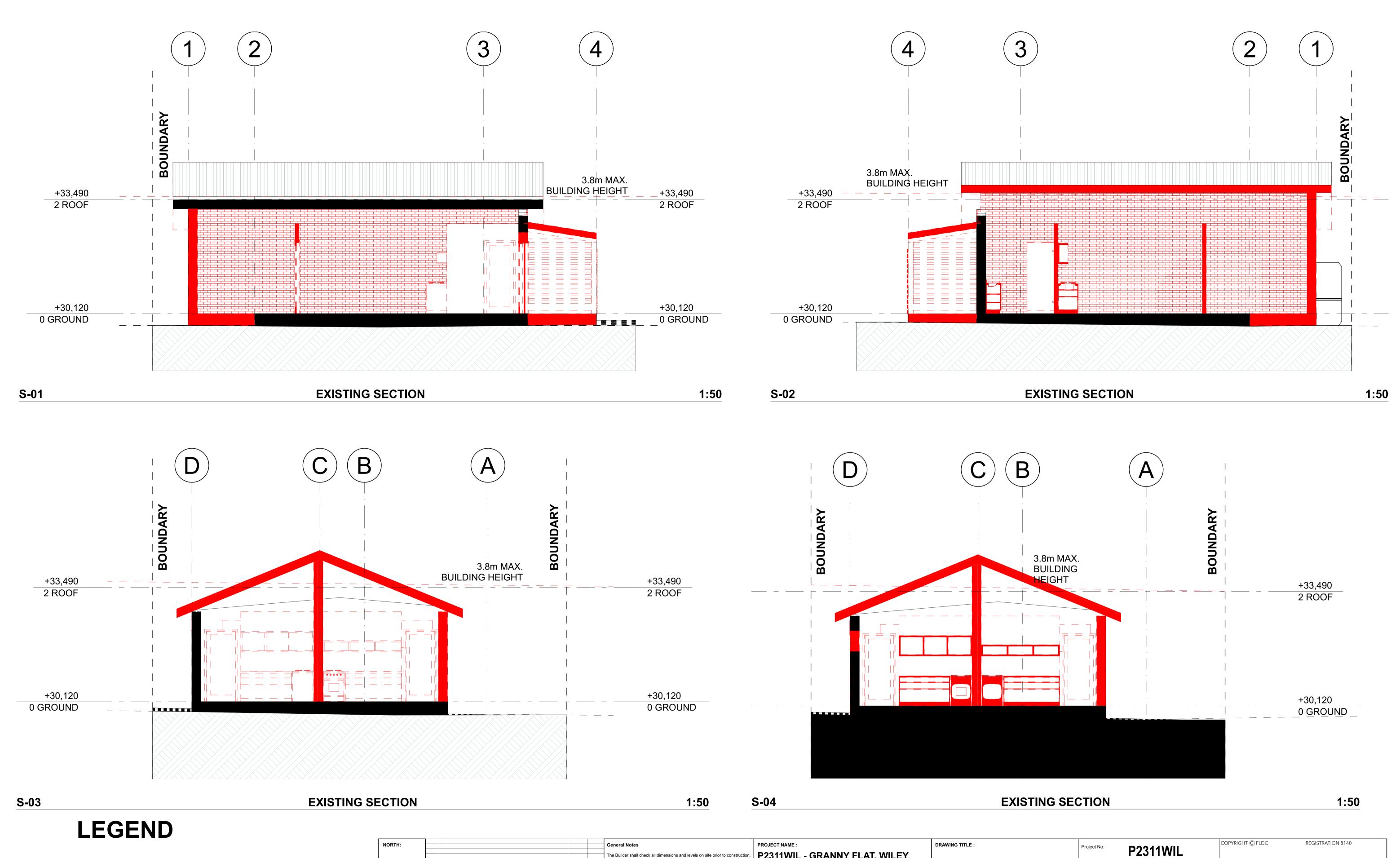


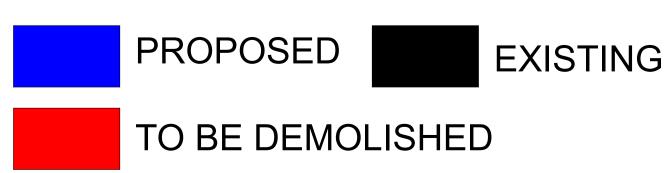


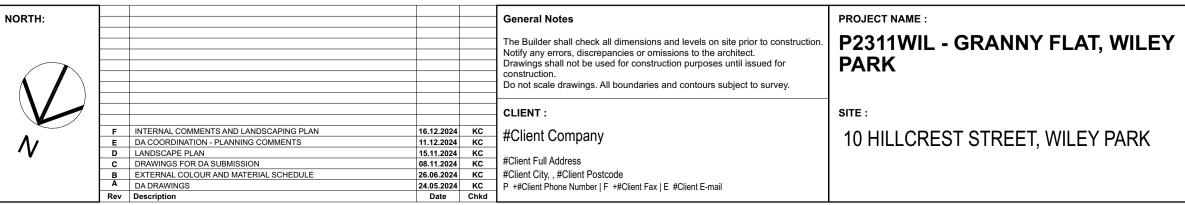












A R C H I T E C T S

A R C H I T E C T S

P) 02 9588 FLDC web: www.fldc.com.au

f) 02 9580 8592 email: info@fldc.com.au

Suite 2D, 322 Kingsgrove Road, Kingsgrove NSW 2218

